



DEVELOPMENT PERMIT NO. DP000686

**KYUYOUNG SONG AND
YUENJOO SONG**
Name of Owner(s) of Land (Permittee)

6003 NELSON ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT A DISTRICT LOT 32, WELLINGTON DISTRICT, PLAN 38002 EXCEPT
VIP68522**

PID No. 000-501-425

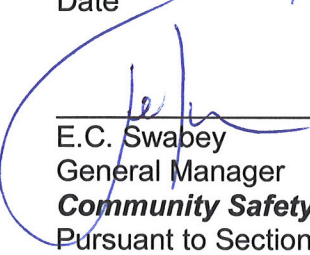
3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Concept Landscape Plan
Schedule D Concept Landscape Plan
Schedule E Concept Landscape Plan & Details
Schedule F Concept Landscape Plan & Specifications
Schedule G Tree Management Plan
Schedule H Stormwater (Rainwater) Management Plan
Schedule I Building Elevations – Unit A (Option 1)
Schedule J Building Elevations – Unit A (Option 2)
Schedule K Building Elevations – Unit B
Schedule L Building Elevations – Unit C
Schedule M Building Elevations – Unit D

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. **This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.**

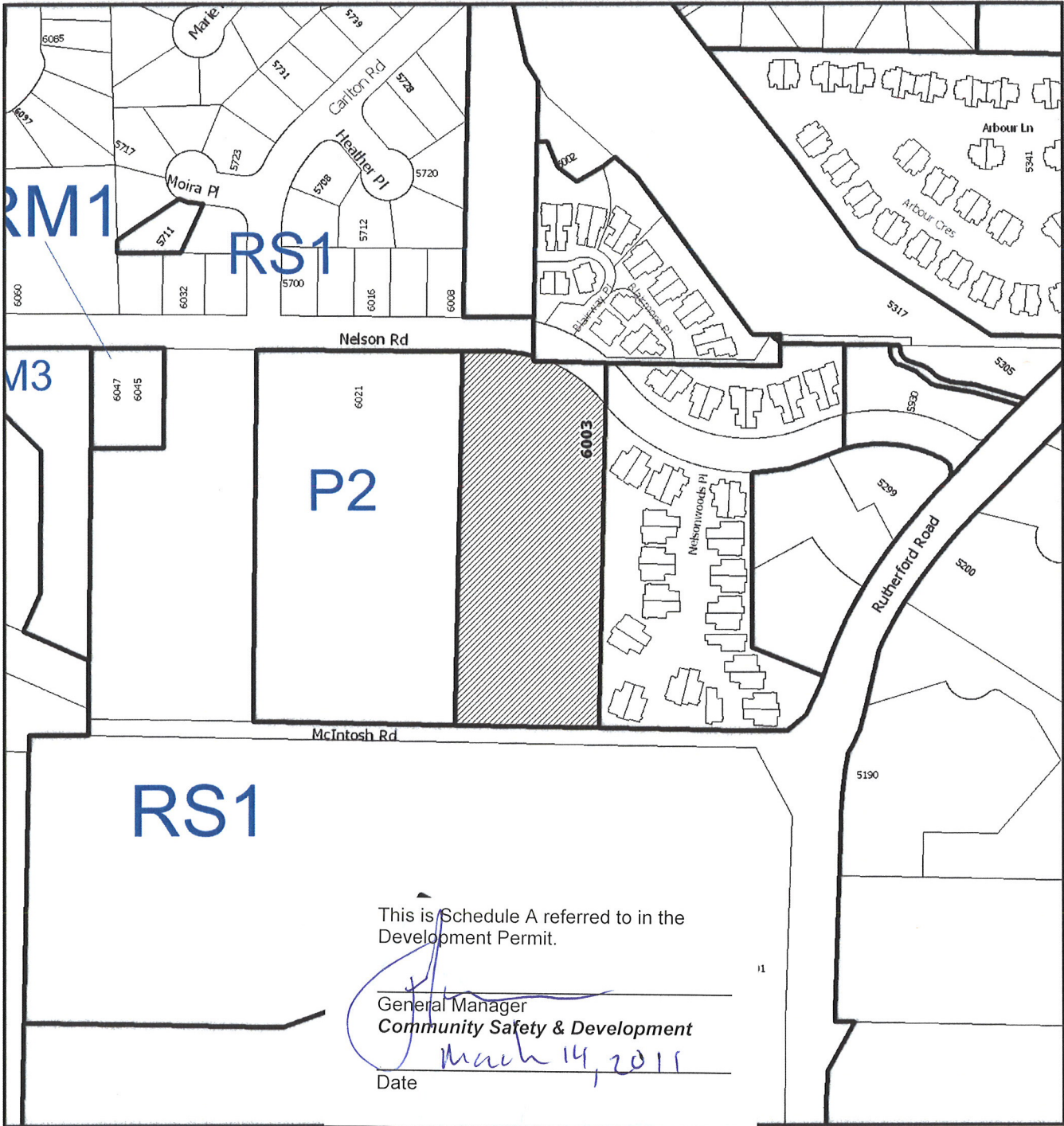
REVIEWED AND APPROVED ON

March 14, 2011
Date


E.C. Swabey
General Manager
Community Safety & Development
Pursuant to Section 154 (1)(b) of the Community Charter

GN/hd
Prospero attachment: DP000686

SCHEDULE A



This is Schedule A referred to in the Development Permit.

General Manager
Community Safety & Development

Date *March 14, 2011*

DEVELOPMENT PERMIT NO. DP000686

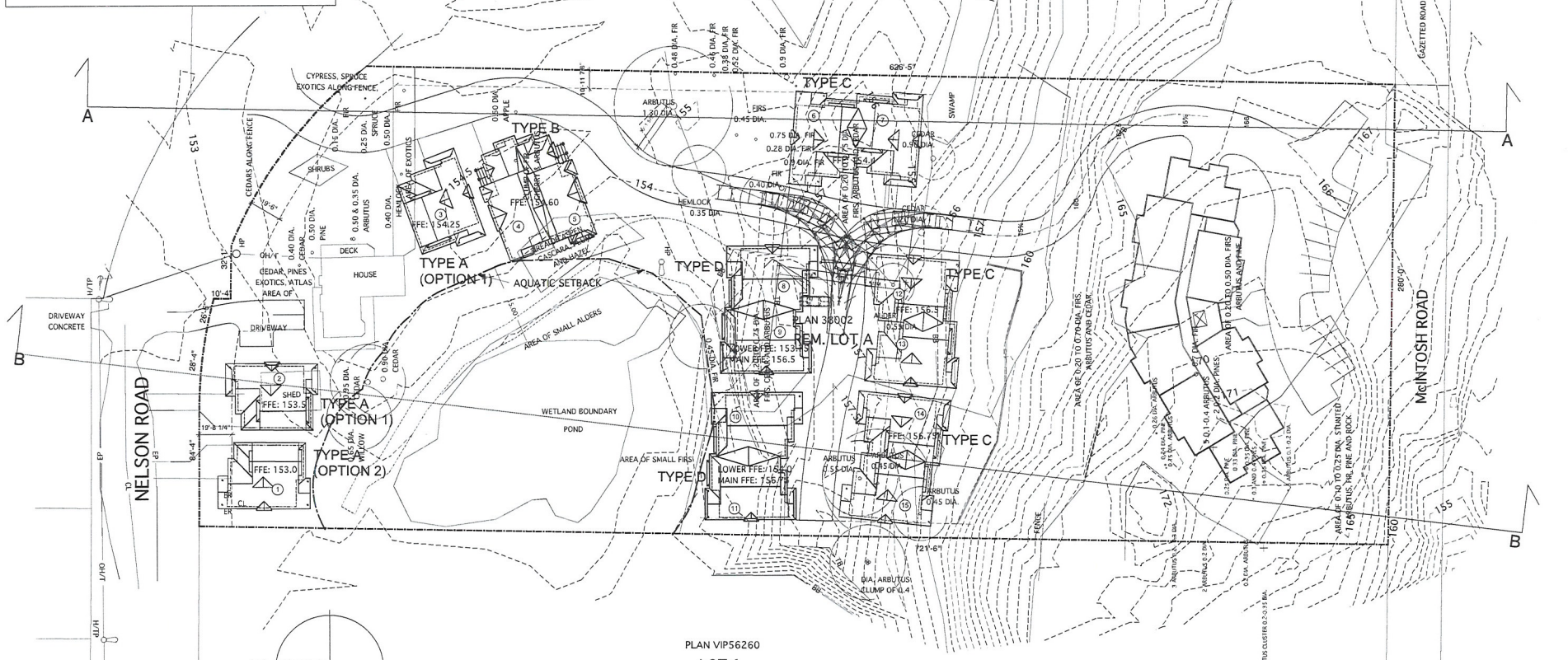
LOCATION PLAN

 **Subject Property**



Civic: 6003 Nelson Road
Lot A, District Lot 32, Wellington District,
Plan 38002 except part in Plan VIP68522

SITE STATISTICS
 CIVIC ADDRESS: 6003 NELSON ROAD
 LEGAL DESCRIPTION: LOT A DISTRICT 32, WELLINGTON DISTRICT, PLAN 38002 EXCEPT VIP68522
 ZONING: RM-5
 LOT SIZE: 4.52 ACRES (18291.791 SQ.M.)
 DENSITY: MAX F.A.R. 1.25 (22864.738 SQ.M.)
 PROPOSED 0.31(5673.7 SQ.M.)
 LOT COVERAGE: MAX- 40%-7916.72 SQ.M.
 PROPOSED 15%-2880.9 SQ.M.
 SETBACKS: FRONT: 6M (19.69 FT)
 SIDE: 3M (9.84 FT)
 REAR: 10.5M (34.45 FT)
 POND: 15M (42.21 FT)
 HEIGHT OF BUILDINGS: MAX. 14M (46 FT)
 AMENITY AREA: PROPOSED 22.7-25.8'
 REQUIRED: 10% OPEN SPACE PROVIDED.
 PARKING: (NOT INCLUDING APARTMENT)
 REQUIRED: 29 SPACES
 PROVIDED: 34 SPACES



SITE PLAN
SCALE 1"=30'-0"

CHANGE INTERVAL CONTOUR
0.5m 1.0m

This is Schedule B referred to in the Development Permit.

General Manager
Community Safety & Development

Date

MULTI-FAMILY DEVELOPMENT
NELSON ROAD, B.C.



DRAWING:
SITE PLAN

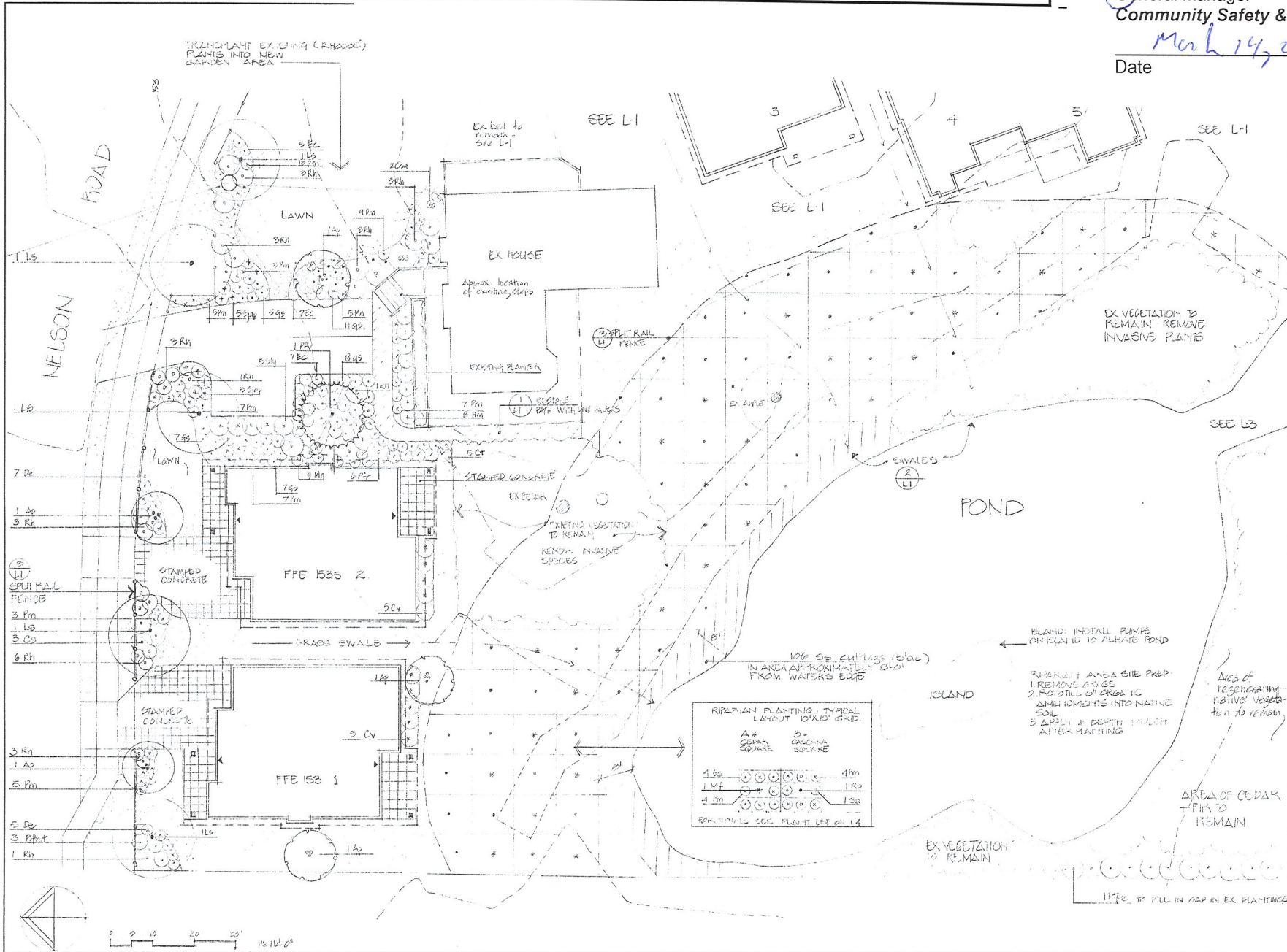
DRAWN BY: JE AK
DATE: Jan 13, 2014
SCALE: AS NOTED

PROJECT NO. 05-24
DRAWING NO. A1.0

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[Signature]
General Manager
Community Safety & Development

Date
March 14, 2011



DATE	REV.	DESCRIPTION
2011	1	ISSUED FOR PERMIT

CONSULTANT
VICTORIA DRAKEFORD
S.K. M.P.H. M.S.A. C.S.A.
LANDSCAPE ARCHITECT
236 Pine Street Nanaimo British Columbia
V9B 2B0 Phone/Fax: (250) 754-4335

PROJECT
MULTI FAMILY DEVELOPMENT
6003 NELSON ROAD
NANAIMO BC

SHEET TITLE
LANDSCAPE PLAN

N.W. CORNER

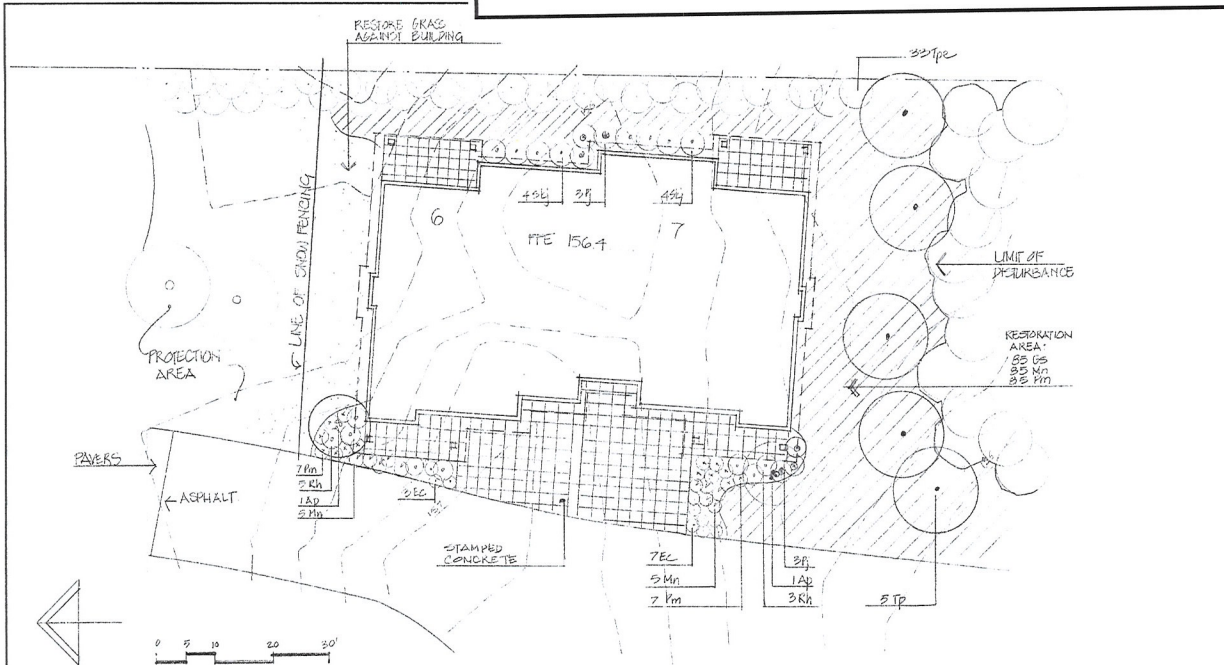
SCALE 1"=10'-0" DATE

DRAWN *[initials]* CHECKED

PROJECT NUMBER 6003 NELSON

DRAWING NUMBER L20E4

Concept Landscape Plan & Specifications



Key	L1	L2	L3	L4	Total	Botanical Name	Common Name	Pot Size
Evergreen Trees								
Ca	2				2	Cedrus atlantica	Atlas Cedar	2.9m
Piv	1				1	Pinus flexilis vanderwolf	Vanderwolf Pine	2.0
Tp			5	5	10	Thuja plicata**	Western Red Cedar	2.5m ht
Mf		27			27	Malus fusca	Pacific Crabapple	#5
Deciduous Trees								
Ap	5	5	24	2	36	Acer palmatum	Japanese Maple	#5
Bp	3				3	Betula pendula	Clump Birch	3m ht
Cn	8				8	Cornus nuttallii	Pacific Dogwood	2m ht
Ls	4	5			9	Liquidambar styraciflua	Sweetgum	6 cm cal
Pt	10				10	Populus tremuloides	Trembling Aspen	4-5 cm cal
Rp		53			53	Rhamnus sp.	Cascara	#5
Evergreen hedging								
Tpe	18	11	56	33	118	Thuja plicata excessa	Cedar hedging	1.8m
Evergreen Shrubs								
Cas	2	2			4	Camellia sasanqua	Camellia	#1
Cv	11	10			21	Geopeltis victoriae	Prunella	#1
Ct	5			19	24	Choisya ternata	Mexican Orange Blossom	#1
Pfr	6				6	Phacelia fraseri	Phacelia	#1
Pj			53	6	59	Pieris japonica	Lily of the Valley Shrub	#1
Rh	36	27		31	94	Rhododendron	Rhododendron	#1
Ski	5			28	33	Skimmia japonica	Skimmia	#1

Key	L1	L2	L3	L4	Total	Botanical Name	Common Name	Pot Size
Deciduous Shrubs								
Cs	11	3			14	Cornus stolonifera	Red-Twigged Dogwood	#1
Hm	11				11	Hydrangea macrophyllum	Hydrangea	#1
Pfrut	3		22		25	Potentilla fruticosa	Potentilla	#1
Ra			3		3	Ribes sanguinum	Red flowering currant	#1
Sa		108			108	Salix species	Native willow	cuttings
Sj	10				10	Spirea japonica	Spirea	#1
Ss		212			212	Symphoricarpos alba	Snowberry	#1
Ground Cover								
Ec	45	19		44	108	Erica carnea	Heather	#1
Gs	64	48	108	160	380	Gaultheria shallon	Salat	#1
Mn	106	14		233	343	Mahonia nervosa	Dull Oregon Grape	#1
Ferns								
Do	12				12	Dryopteris erythrosora	Autumn Fern	#1
Pmum	148	54	320	236	758	Polystichum munifolium	Sword Fern	#1
Plants for unlined swale								
Ce	12				12	Carex obovata	Slough Sedge	plugs
Ie	12				12	Iris ensata	Western Iris	#1
Sm	12				12	Scirpus microcarpus	Small flowered bulrush	plugs

**Replacement trees for significant trees on site

LANDSCAPE SPECIFICATIONS

- GENERAL**
- REFERENCES for all Landscape work
 - BCS/LA/B/CNTA Landscape Standard, Latest Edition. The Landscape Contractor shall make him/herself aware of all prevailing standards referenced therein and execute work accordingly as it will govern all landscape preparations, execution and deficiencies.
 - PROTECTION OF EXISTING PLANT MATERIAL. Preservation of Significant Trees and areas of existing trees and understorey:
 - 1.3.1 All plant material to remain as noted on the plan is to be preserved by tree retention fencing prior to demolition of existing site features.
 - 1.3.2 Fencing to be placed around the drip line of trees and around other shrubs and groundcovers to be preserved. Notices to be posted indicating there is to be no damage to the bark of the trees, no compaction of root systems and no burying of tree bases.
 - 1.3.3 Natural grade to be preserved in all fenced off areas.
 - 1.3.4 No dumping or storage of construction materials on preserved areas.
 - 1.3.5 Where feasible native plants will be stockpiled in areas that are protected from construction activity and where they can be watered in summer months.
 - 1.3.6 Where feasible native soil will be stockpiled away from construction. Tarps should be placed over the 1.3.8 piles to prevent erosion and compaction from rain.
 - 1.3.9 Storage should be at least 30 m away from water courses.

Areas of existing vegetation:
All areas of existing vegetation shall be cleared of dead branches and potential fuel for fires. All remaining trees shall be assessed for potential hazards.

- SITE CONDITIONS
Locations of all existing utilities are to be verified prior to installation of landscape. Refer to Civil engineering drawings (by others) and 'Call First' Line at 1 800 474 6888.
- SITE REVIEW MEETING
Landscape Contractor to provide seven days notice to landscape Architect prior to commencement of landscape site work to allow for site meeting and drawing review, especially regarding possible building architect change orders and non-conforming site conditions.
- GRADING
 - 1.5.1 It shall be the responsibility of the General Contractor to establish all sub-grades to allow for the levels, profiles and contours required on the landscape drawings.
 - 1.5.2 Remove and dispose to approved off-site disposal area all debris, building material, contaminated subsoil, visible invasive plants and anything else that may interfere with proper growth and development of planned finished landscape.
 - 1.5.3 The sub-grade shall be scarified to a minimum depth of 150mm immediately before placing growing medium or drainage material.
 - 1.5.4 Grade transitions of sub-grade shall be smooth and even, such that ponding cannot occur on sub-grade surface.
 - 1.5.5 Grade the sub-grade elevations to within the tolerances given below
 - 1.5.5.1 Rough grades to follow the depths below finished grades, 100mm for meadow areas, and 380mm for shrub and groundcover areas.
 - 1.5.5.2 Rough grades to be sloped a minimum of 2% from buildings, unless otherwise specified.

- GROWING MEDIUM**
- 1.0 All topsoil, imported or on-site soil shall be tested and modified as required. When bidding a contractor must test the proposed soil and include the required modifications in the price for the work. Current soil analysis reports must be done and signed by a pre-approved analytical laboratory. A copy of the soil analysis must be sent to the Consultants office.
 - 2.0 Growing medium shall be placed at the following depths: 100mm (4") for lawn area, 300 mm (12") for ornamental grasses and groundcovers and 450 mm (18") for shrubs, 300 mm (12") on sides and bottoms of root balls of trees.
- PLANTING**
- 1.0 All plants and planting to be to BCS/LA/B/CNTA Standards, latest edition.
 - 2.0 Sod, where used, shall be nursery grown and conform to standards of the Nursery Sod Growers Association, including installation and short term maintenance guidelines. Apply minimum of 1/2" of water to turf within 1/2 hour of installation and rolling.
 - 3.0 Cut all cords and peel back or cut away B&B sacking, and trunk wrap.
 - 4.0 All trees and shrubs shall have a 1 1/2" high watering saucer formed around the top of the root ball to direct irrigation and rainwater into the root ball.
 - 5.0 All newly planted areas will be mulched with 2" minimum depth of bark mulch.
 - 6.0 The Landscape Contractor shall leave the work areas clean, tidy and safe on a daily basis.
 - 7.0 All plant materials shall be guaranteed in writing to the owner for one year against death due to unhealthy supply and/or improper installation conditions and/or wrong selection of species or variety of plants. One year period begins at date of landscape Contractor's final invoice.

- IRRIGATION**
- 1.0 The irrigation system is to be designed by Irrigation Contractor.
 - 2.0 All work to conform to the BC Plumbing Code as amended to installation date. All workmanship is to be to Irrigation Industry Association of BC (IIABC) Standards, latest edition.
 - 3.0 All points of connection to domestic water supply to be protected by a backflow prevention device that complies with the Plumbing Code.
 - 4.0 Select and size all irrigation equipment such that flow velocities do not exceed 5 fps (1.5m/sec).
 - 5.0 Pipe of 1" to be Class 160 PVC. Smaller sizes to be Class 200 PVC. All fittings to the Sched. 40 PVC.
 - 6.0 All crossings under pavement to be sleeved in SDR 35 pipe.
 - 7.0 Bury mains min. 450 mm (18") and laterals min 300 mm (12"). Bed pipe with min 100mm (4") sand under, to sides and above.
 - 8.0 Balance branched circuits to minimize critical circuit lengths and ensure even sprinkler performance.
 - 9.0 Supply/install commercial grade valves in lockable boxes. Do not install boxes within areas of high aesthetic attention such as feature planting beds, feature paving, etc. Ensure all boxes are level with surrounding grade.
 - 10.0 All sprinklers within a circuit to have matched precipitation rates and have integral check valves to prevent low-head drainage. Space sprinklers for head-to-head coverage. Provide as-built drawings and operations manual to Owner and review system with Owner.
- UNIT PAVERS**
- 1.0 Pavers to be Abbotsford Old Country Stone, type 3, 45 degree herringbone. Colour natural.
- GRAVEL PATH**
- 1.0 Lay 100 mm (4") of 19mm with fines on levelled compacted subgrade. Slope 2% to drain.

This is Schedule F referred to in the Development Permit.

General Manager
Community Safety & Development

Date

March 14, 2011

DATE	REV.	DESCRIPTION
2011	01	ISSUED FOR PERMIT
2011	02	REVISED (11.0.1.1.1.1.1)

CONSULTANT
VICTORIA DRAKEPOD
B.Sc. M.P.L. BCSLA CSLA

LANDSCAPE ARCHITECT

236 Pine Street, Nanaimo, British Columbia
V9B 2B6 Phone/Fax: (250) 754 4335

PROJECT
MULTI-FAMILY DEVELOPMENT
6003 NELSON ROAD
NANAIMO BC

SHEET TITLE
LANDSCAPE PLAN & SPECIFICATIONS
SW CORNER

SCALE: 1:100 DATE: 11.03.11

DRAWN: JLD CHECKED: JLD

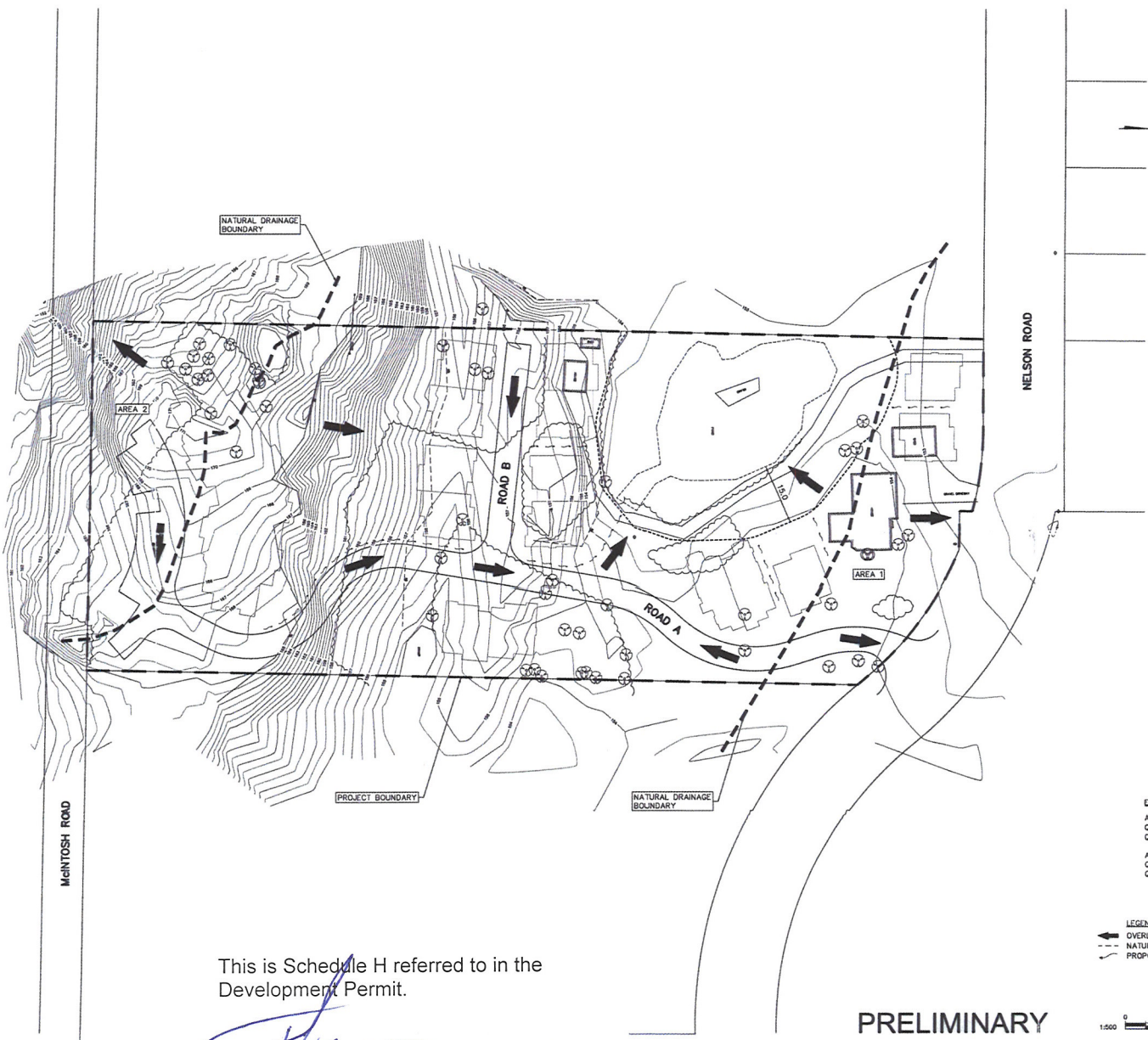
PROJECT NUMBER: 6003 NELSON

DRAWING NUMBER: LA 01A

Stormwater (Rainwater) Management Plan

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NO.	DATE	REVISION
A	22 JUL 08	ISSUED FOR DEVELOPMENT PERM



EXISTING CONDITIONS:
 AREA 1 = 2300 m²
 Q_s = 0.015 m³/s
 Q_w = 0.034 m³/s
 AREA 2 = 2230 m²
 Q_s = 0.014 m³/s
 Q_w = 0.033 m³/s

LEGEND:
 — OVERLAND FLOW (100 YEAR EVENT)
 - - - NATURAL DRAINAGE BOUNDARY
 — PROPOSED DITCH



6003 NELSON ROAD
 MULTI-FAMILY DEVELOPMENT
 NANAIMO, BC
 MINGI SONG

STORM WATER PLAN

TROBRIDGE
 ENGINEERING LIMITED
 Civil Engineering Consultants
 302 Bessie Way, Nanaimo, BC V9A 5Z7
 Tel: 250.741.9770 Fax: 250.741.9776
 www.trobridge.ca

SCALE:	ENGINEER'S DRAW
H: 1:500	
V: N/A	
DATE:	
JULY 2008	
DESIGN:	
NSI	
DRAWN:	
NSI	
FILE:	
006-01	
SHEET:	
1 OF 2	
REVISION:	
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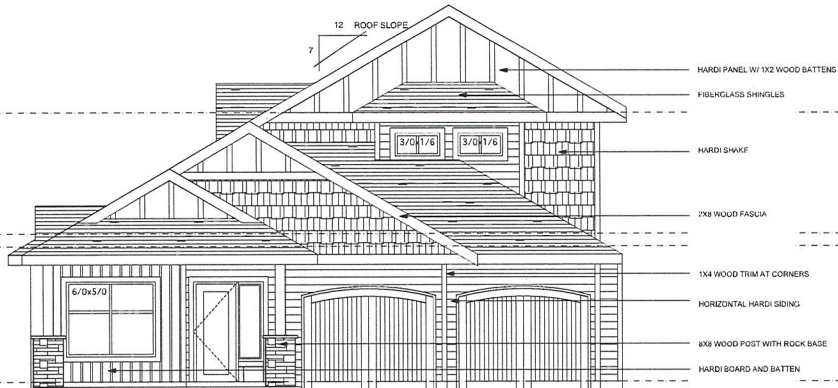
This is Schedule H referred to in the Development Permit.

[Signature]
 General Manager
 Community Safety & Development
 Date *March 14, 2011*

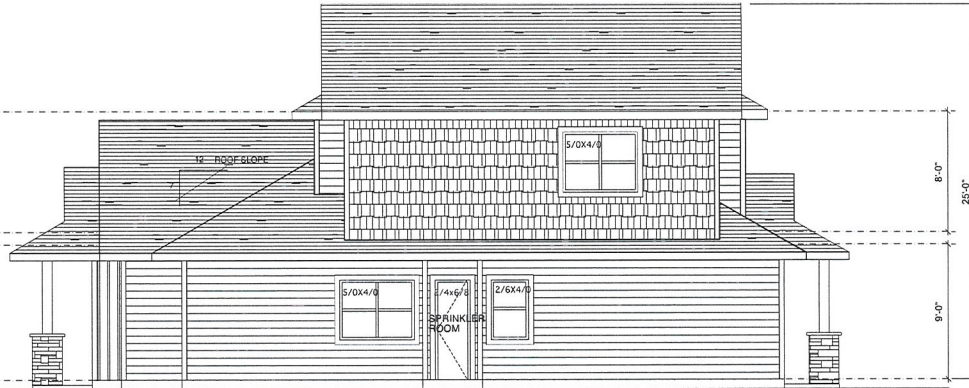
PRELIMINARY

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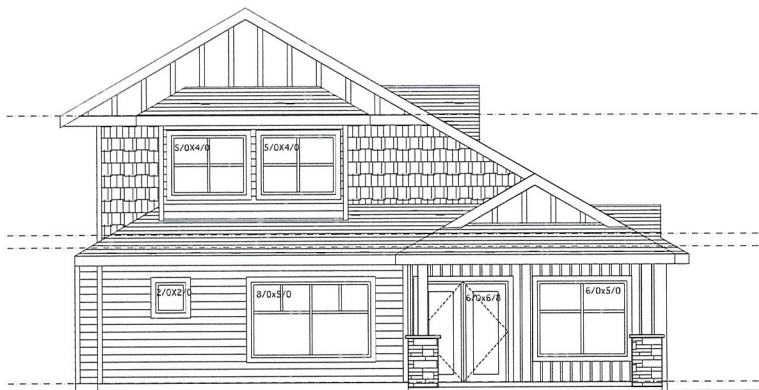
Building Elevations – Unit A (Option 1)



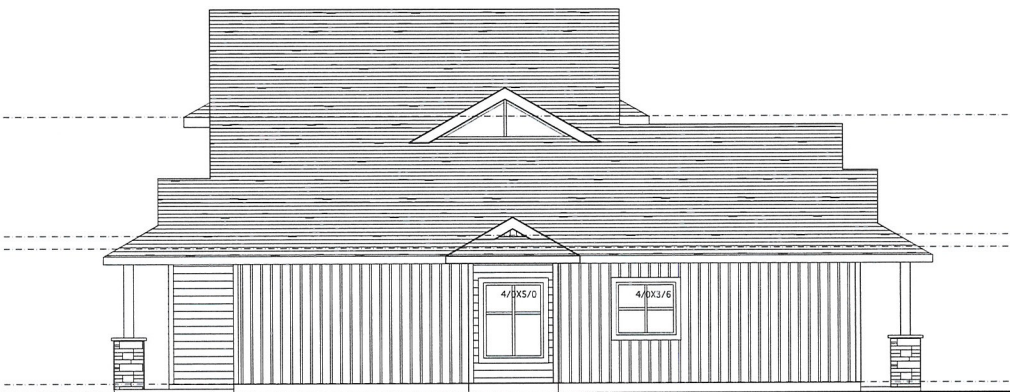
FRONT ELEVATION (UNIT TYPE A OPTION 1)
SCALE 1/8"=1'-0"



SIDE ELEVATION (OPTION 1)
SCALE 1/8"=1'-0"



REAR ELEVATION (OPTION 1)
SCALE 1/8"=1'-0"



SIDE ELEVATION (OPTION 1)
SCALE 1/8"=1'-0"

UNIT 2,3

NO.	DATE	REVISION	DESCRIPTION
	JULY 7, 2008		ELEX LAYOUT
	AUG 15, 2010		FNDR PLANS
	NOV 30, 2010		KITCHENS AND FIREPLACE
	SEPT 6, 2007		REVISE SETBACKS
	JAN 13, 2011		REV. ELEC. AND BATH
	FEB 19, 2008		REVISE BUILDING NUMBER
	NOV 13, 2004		WD

MULTI-F

This is Schedule I referred to in the Development Permit.

General Manager
Community Safety & Development

Date

March 14, 2011



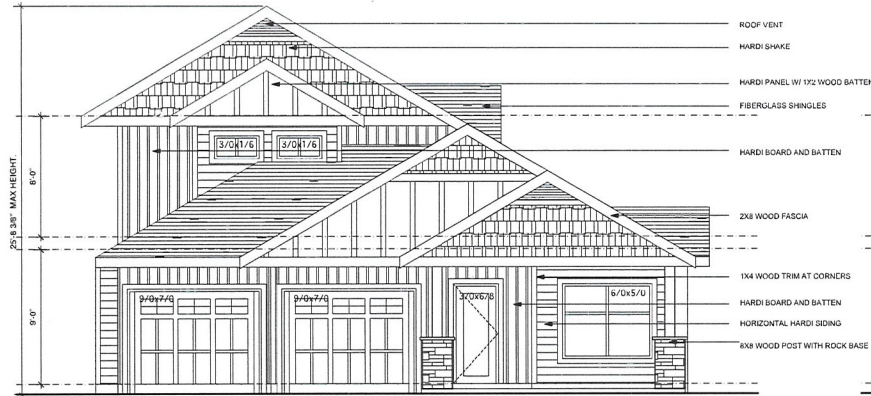
DRAWING:
UNIT A (OPT. 1)
ELEVATIONS

DRAWN BY: JE, AK
DATE: Jun 13, 2014
SCALE: AS NOTED

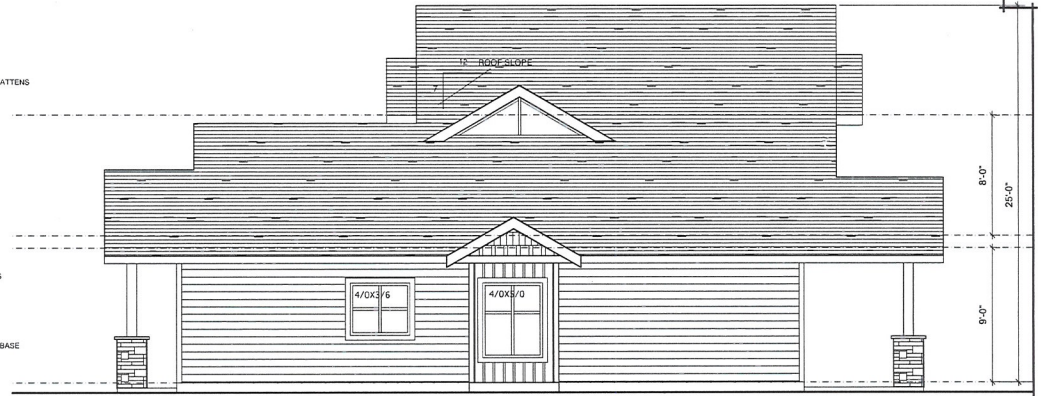
PROJECT NO. 05-24
DRAWING NO. A2.1

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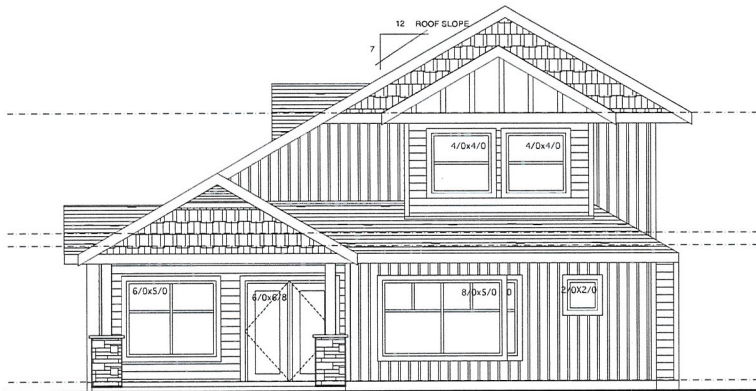
Building Elevations – Unit A (Option 2)



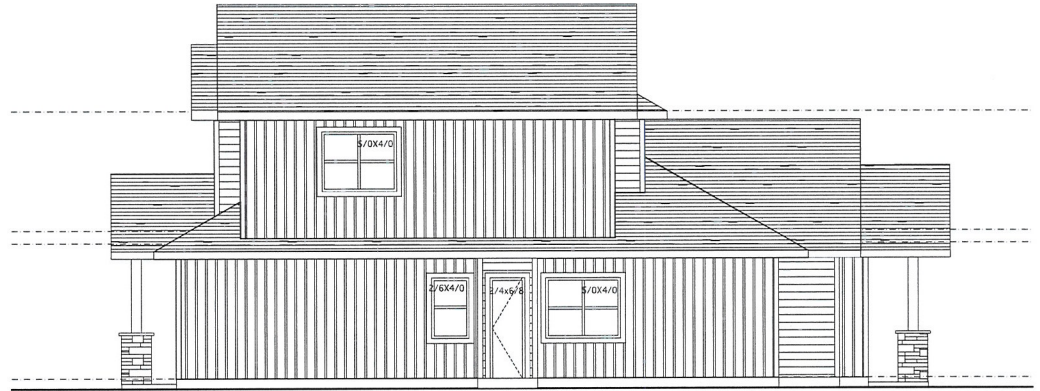
FRONT ELEVATION (UNIT TYPE A OPTION 2)
SCALE 1/8"=1'-0"



SIDE ELEVATION (OPTION 2)
SCALE 1/8"=1'-0"



REAR ELEVATION (OPTION 2)
SCALE 1/8"=1'-0"



SIDE ELEVATION (OPTION 2)
SCALE 1/8"=1'-0"

UNIT 1

NO. DATE	JULY 7, 2008 ELEX LAYOUT
REVISION	AUG 15, 2010 FNDN PLANS
MARCH 20, 2007 DP	NOV 30, 2010 KITCHENS AND FIREPLACE
SEPT 6, 2007 REVISE SETBACKS	JAN 13, 2011 REV. ELEC. AND BATH
NOV 19, 2009 REVISE BUILDING NUMBER	JAN 18, 2011 REV. ELEC.
NOV 13, 2006 WD	

MUL

This is Schedule J referred to in the
Development Permit.

General Manager
Community Safety & Development

Date

Jan 14, 2011



DRAWING:
UNIT A (OPT. 2)
ELEVATIONS

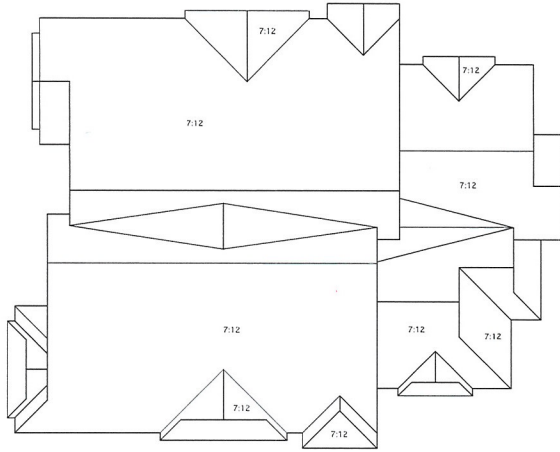
DRAWN BY: JE AK
DATE: Jan 13, 2014
SCALE: AS NOTED

PROJECT NO.
05-24

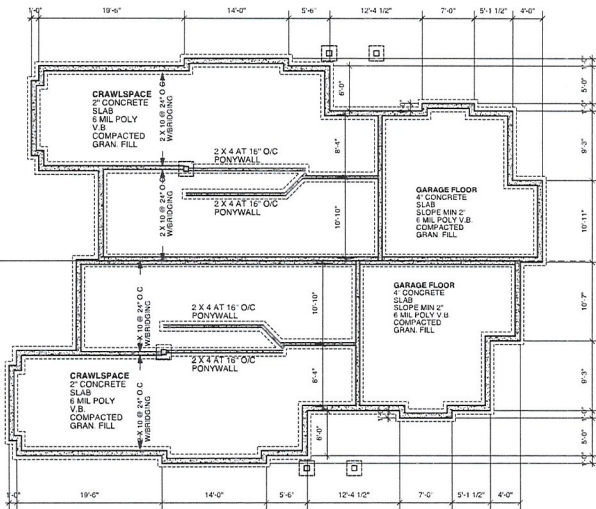
DRAWING NO.
A2.2

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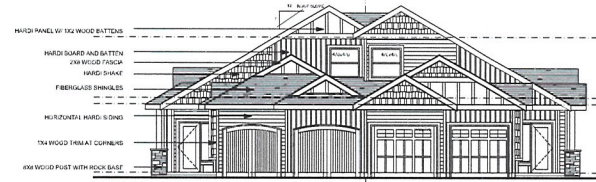
Building Elevations – Unit B



ROOF PLAN
SCALE 1/8"=1'-0"



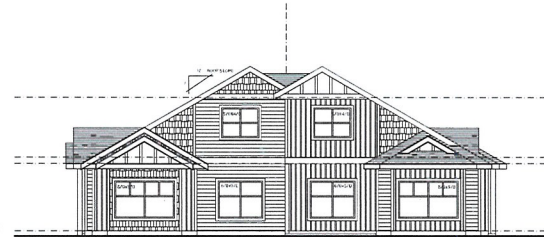
FOUNDATION PLAN
SCALE 1/8"=1'-0"



FRONT ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"

UNITS 4 & 5

NO:	DATE:	JULY 7, 2008	ELEX LAYOUT
REVISION:		AUG 15, 2010	FINN PLANS
		MARCH 20, 2007	DP
		SEPT 6, 2007	REVISE SETBACKS
		FEB 19, 2009	ROAD ALIGNMENT
		NOV 13, 2004	WD
			REV. ELEC. AND BATH
			REV. ELEC.

MUL

This is Schedule K referred to in the Development Permit.

General Manager
Community Safety & Development

Date

[Signature]
Mar 6, 2011

jerry d. ellins
 50 bag road
 gabriola st., vancouver, BC V6H 1X1
 business: (604) 247-8513
 fax/home: (604) 247-8513
 email: jellins@ellinsarchitect.com

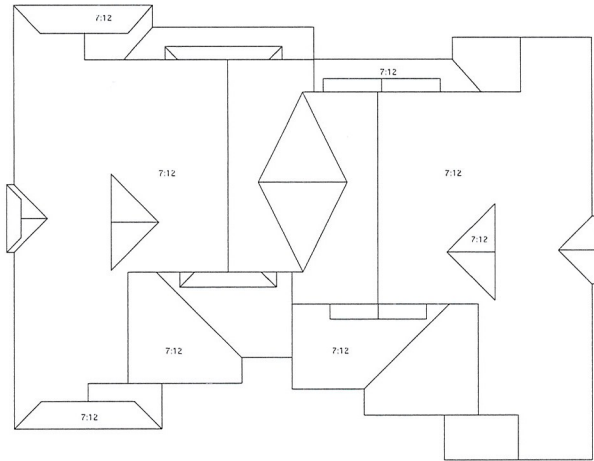
DRAWING:
UNIT B TYPICAL
ELEVATION
ROOF PLAN
FOUNDATION PLAN

DRAWN BY: JE, AK
DATE: Jan 13, 2014
SCALE: AS NOTED

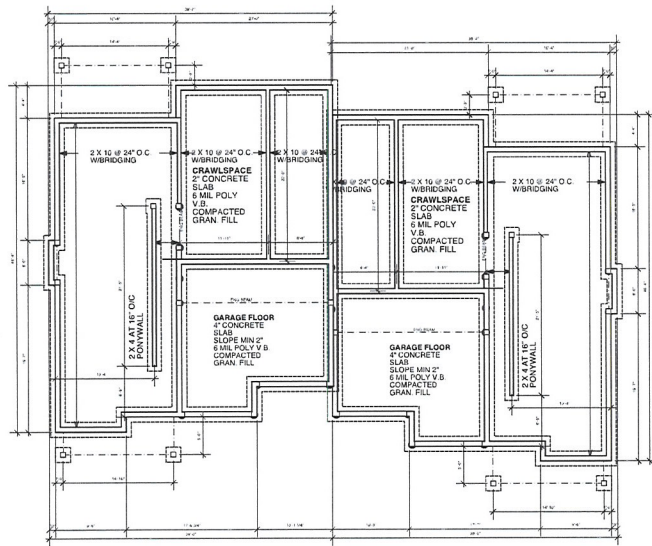
PROJECT NO. 05-24
DRAWING NO. A3.2

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Building Elevations – Unit C



ROOF PLAN
SCALE 1/8"=1'-0"



FOUNDATION PLAN
SCALE 1/4"=1'-0"

FOUNDATION PLAN
SCALE 1/4"=1'-0"



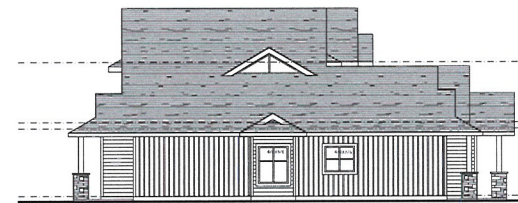
FRONT ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"

UNITS 6,7,12,13,14,15

NO.	DATE	REVISION	DESCRIPTION
	JULY 7, 2008		ELEX LAYOUT
	AUG 15, 2010		FNDN PLANS
	NOV 30, 2010		KITCHENS AND FIREPLACE
	JAN 13, 2011		REV. ELEC. AND BATH
	JAN 18, 2011		REV. ELEC.
	FEB 19, 2008		REDUCE BUILDING NUMBER
	NOV 13, 2008		WD

MULT

This is Schedule L referred to in the Development Permit.

General Manager
Community Safety & Development

Date

March 14, 2011



DRAWING:
UNIT C TYPICAL
ELEVATION
ROOF PLAN

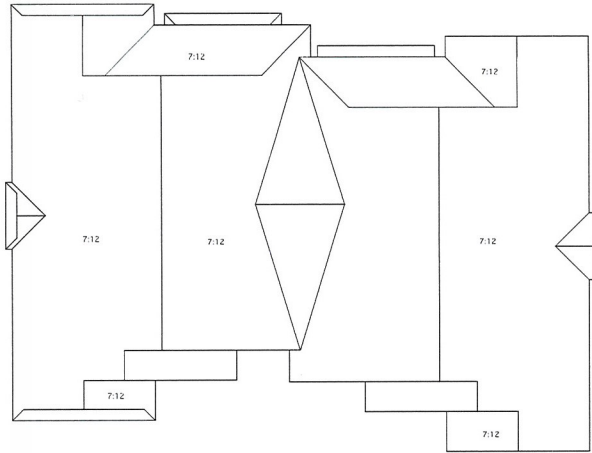
DRAWN BY: JE, AK
DATE: Jan 13, 2014
SCALE: AS NOTED

PROJECT NO.
05-24

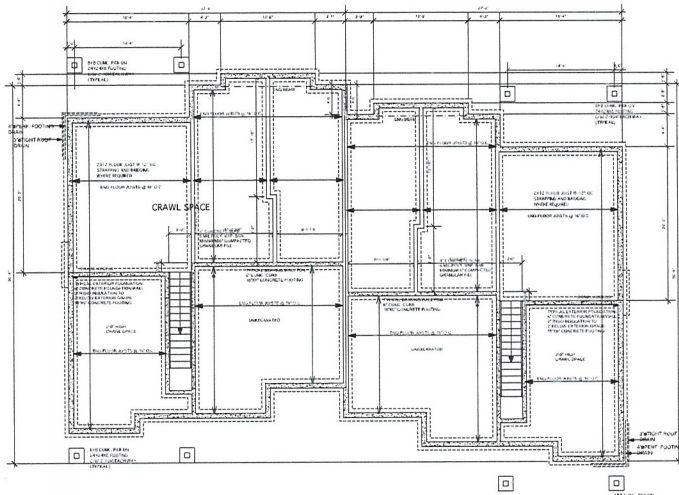
DRAWING NO.
A4.2

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Schedule M
Building Elevations – Unit D

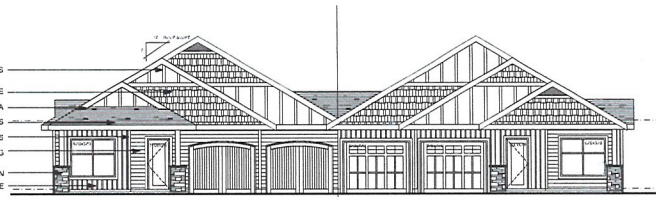


ROOF PLAN
SCALE 1/8"=1'-0"



FOUNDATION PLAN
SCALE 1/8"=1'-0"

- HARDI PANEL W/ 1X2 WOOD BATTENS
- HARDI SHAKE
- 2X8 WOOD FASCIA
- FIBERGLASS SHINGLES
- 1X4 WOOD TRIM AT CORNERS
- HORIZONTAL HARDI SIDING
- HARDI BOARD AND BATTEN
- 6X8 WOOD POST WITH ROCK BASE



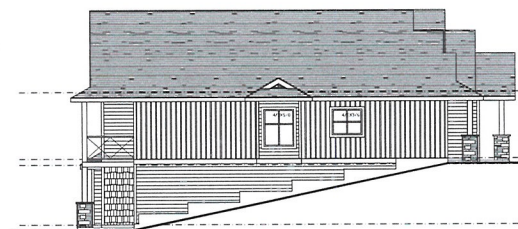
FRONT ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"

UNITS 8,9,10,11

NOI DATE:	JULY 7, 2008	ELEX LAYOUT
REVISION:	AUG 15, 2010	FNDN PLANS
MARCH 20, 2007 DP	NOV 30, 2010	KITCHENS AND FIREPLACE
SEPT 6, 2007 REVISE SETBACKS	JAN 13, 2011	REV. ELEC AND BATH
NOV 19, 2008 REVISE BUILDING NUMBER	JAN 18, 2011	REV. ELEC
NOV 13, 2008 WD		

MU

This is Schedule M referred to in the Development Permit.

General Manager
Community Safety & Development

Date

March 14, 2011

T



ellins architect inc.
architecture • planning • interior design

DRAWING:
UNIT D TYPICAL
ELEVATION
ROOF PLAN

DRAWN BY: J.E. AK
DATE: Jun 13, 2014
SCALE: AS NOTED

PROJECT NO. 05-24
DRAWING NO. A5.2

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